



**ABBREVIATIONS**

- A.C. asphalt concrete
- A.D. area drain
- ADJ. adjustable
- ASPH. asphalt
- BD. board
- BLDG. building
- BLKG. blocking
- CAB. cabinet
- CER. ceramic
- CLR. clear
- COL. column
- CONC. concrete
- CONSTR. construction
- DBL. double
- D.F. drinking fountain
- DET. detail
- DTL. detail
- DIA. diameter
- DIM. dimension
- DN. down
- DS. downspout
- D.S.P. dry standpipe
- DWG. drawing
- (E). Existing
- E.J. expansion joint
- EF. exhaust fan
- EL. elevation (grade)
- ELEV. elevation (building)
- EQT. equipment
- EXST. existing
- EXT. exterior
- F.A. fire alarm
- F.D. floor drain
- FDN. foundation
- F.E. fire extinguisher
- F.E.C. fire extinguisher cabinet
- FIN. finish
- FL. floor
- FLUOR. fluorescent
- F.O.C. face of concrete
- F.O.F. face of finish
- F.O.M. face of masonry
- F.O.S. face of stud
- FT. foot or feet
- FTG. footing
- GALV. galvanized
- GL. glass
- GR. grade
- GYP. gypsum
- H.B. hose bibb
- HORIZ. horizontal
- HR. hour
- HGT. height
- H.W. hot water
- I.D. inside diameter
- INSUL. insulation
- INT. interior
- JST. joint
- JT. joint
- LAV. lavatory
- MATL. material
- MAX. maximum
- MET. metal
- MTL. metal
- MFR. manufacturer
- MIN. minimum
- MIR. mirror
- MISC. miscellaneous
- (N) New
- N. north
- N.L.C. not in contract
- N.T.S. not to scale
- (P) Proposed
- PL. plate
- PLAS. plaster
- PLYWD. plywood
- RAD. radius
- R. riser
- R.D. roof drain
- REF. reference
- REFR. refrigerator
- SH. shelf
- SHTG. sheathing
- SIM. similar
- SPEC. specification
- SQ. square
- STD. standard
- STOR. storage
- STRUC. structural
- SUSP. suspended
- TR. tread
- TEL. telephone
- TEMP. tempered
- T. & G. tongue & groove
- THK. thick
- TOLL. toilet
- T.O.P. top of plywood
- T.O.S. top of slab
- T.V. television
- TYP. typical
- UNO unless noted otherwise
- W.C. water closet
- WD. wood

**AGENCIES**

- PLANNING & DEVELOPMENT:** \*\*\* PLANNING & DEVELOPMENT \*\*\*  
Ventura County Planning  
Planning Division  
800 S. Victoria Avenue  
Ventura, CA 93009  
(805) 654-2488 or (805) 654-2451
- BUILDING & SAFETY:** Ventura County Building and Safety  
Division  
800 S. Victoria Avenue  
Ventura, CA 93009  
805-654-2771
- FLOOD CONTROL:** \*\*\* FLOOD CONTROL \*\*\*  
CONTACT  
ADDRESS  
CITY, STATE POSTAL CODE  
PHONE
- FIRE DEPARTMENT:** \*\*\* FIRE DEPT \*\*\*  
CONTACT  
ADDRESS  
CITY, STATE POSTAL CODE  
PHONE
- PUBLIC WORKS:** \*\*\* PUBLIC WORKS \*\*\*  
CONTACT  
ADDRESS  
CITY, STATE POSTAL CODE  
PHONE
- HISTORICAL LANDMARKS COMMISSION:** \*\*\* HISTORICAL LANDMARKS \*\*\*  
CONTACT  
ADDRESS  
CITY, STATE POSTAL CODE  
PHONE
- ENGINEERING DIVISION:** \*\*\* ENGINEERING DIVISION \*\*\*  
CONTACT  
ADDRESS  
CITY, STATE POSTAL CODE  
PHONE
- TRANSPORTATION:** \*\*\* TRANSPORTATION \*\*\*  
CONTACT  
ADDRESS  
CITY, STATE POSTAL CODE  
PHONE
- PUBLIC WORKS:** \*\*\* PUBLIC WORKS \*\*\*  
CONTACT  
ADDRESS  
CITY, STATE POSTAL CODE  
PHONE

**UTILITIES**

- WATER:** \*\*\*WATER COMPANY\*\*\*  
ADDRESS CITY, STATE POSTAL  
CODE  
PHONE
- ELECTRIC POWER:** \*\*\*ELECTRIC COMPANY\*\*\*  
ADDRESS CITY, STATE POSTAL CODE  
PHONE
- NATURAL GAS:** \*\*\*GAS COMPANY\*\*\*  
ADDRESS CITY, STATE POSTAL CODE  
PHONE
- TELEPHONE:** \*\*\*PHONE COMPANY\*\*\*  
ADDRESS CITY, STATE POSTAL CODE  
PHONE
- CATV:** \*\*\*CABLE COMPANY\*\*\*  
ADDRESS CITY, STATE POSTAL CODE  
PHONE

**PROJECT TEAM**

- OWNER:** Dan and Nancy Yih  
3935 Thacher Rd. Ojai, CA 93013  
312-961-3696  
dan@yih-family.com
- ARCHITECT:** Two Trees Architects  
112 Canada St  
Ojai, CA 93023  
Phone: (805) 798-9091  
Danny@twotrees-architect.com
- GENERAL CONTRACTOR:** TBD
- CIVIL/SEPTIC ENGINEER:** Ashley & Vance  
Jason Gotsis PE  
1229 Carmel Street  
San Luis Obispo, CA 93401  
805-962-9906 (160)  
jason@ashleyvance.com
- SURVEYOR:** \*\*\* Henry Land Surveying Inc \*\*\*  
CONTACT  
619 Crestview Drive, Ojai, CA. 93023  
(805) 216-6124  
jeremyhenry1118@gmail.com
- LAND USE CONSULTANT:** Steve Alary  
9452 Telephone Rd #109  
Ventura CA, 93004  
805-407-6729  
Steve.Alary@gmail.com
- LANDSCAPE ARCHITECT:** Scott Menzel  
3823 Santa Claus Ln. Unit D  
Carpinteria CA 93013  
scott@scottmenzel.com  
805-320-9751
- INTERIOR DESIGNER:** Elizabeth Dinkle Design Associates  
554 Westbourne Dr.  
West Hollywood, CA 90048  
310-278-3700  
lizziedink@me.com
- SOILS:** Pacific Materials Laboratory Camarillo  
150 Wood Rd Suite B  
Camarillo, CA 93010  
Doug Papay  
805-482-9801  
pmlgeo@gmail.com
- STRUCTURAL ENGINEER:** Hume Structural Engineers  
P.O. Box 15238, San Luis Obispo, CA 93406  
805-962-6311  
mail@theengineers.com
- MECHANICAL ENGINEER:** \*\*\* MECH ENG \*\*\*  
CONTACT  
ADDRESS  
CITY, STATE POSTAL CODE  
PHONE  
FAX  
EMAIL
- ELECTRICAL ENGINEER:** \*\*\* ELECT ENG \*\*\*  
CONTACT  
ADDRESS  
CITY, STATE POSTAL CODE  
PHONE  
FAX  
EMAIL
- LIGHTING DESIGNER:** \*\*\*LIGHTING DESIGNER\*\*\*  
CONTACT  
ADDRESS CITY, STATE POSTAL CODE  
PHONE  
FAX  
EMAIL

**PROJECT DATA**

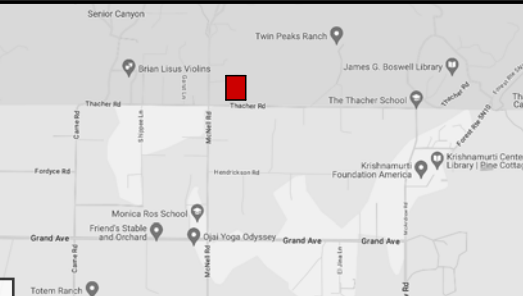
- ADDRESS:** 3935 Thacher Rd.  
Ojai, CA 93013
- A.P.N.:** \*\*\* 014-0-100-260 \*\*\*
- CDP:** \*\*\* CDP NUMBER \*\*\*
- Construction Type:** Type V
- Occupancy Category:** R-3
- New Structures to be protected with an approved fire sprinkler system.
- (N) 1200 Sq ft (gross) ADU**
- (N) 432 Sq ft (gross) Detached Garage**
- (E) 623 Sq ft (gross) Detached Garage and Storage, converted to Gym, Pool Toilet, Dressing rm, Laundry**
- (N) Addition 375 Sq ft (gross) Pool house/Mech addition to (E) converted Garage 338 Sq ft Balcony with exterior stair**
- Interior Remodel of (E) Main Residence. Addition of (N) 845 Sq ft Exterior Patio/BBQ area NOT COVERED**
- (N) 15' x 60' Pool, Demolition of Existing Pool**

**CODE REQUIREMENTS**

All work to comply with:  
2022 CBC, 2022 CRC, 2022 CEC (Electrical), 2022 CMC, 2022 CPC,  
2022 CEC (Energy), 2022 CA Fire Code, 2022 CA Green Building Standards Code (CALGreen), State codes & County requirements

**INSPECTION & OBSERVATIONS**

- Work shall be inspected as required by applicable consultants, specified below & in consultants' drawings.
- Soils Engineer Requirements:
- Structural Engineer Requirements:
- DEVELOPMENT**
- 1. Accessory Dwelling Unit (ADU):** Construction of a 1,200 square-foot ADU. Includes a 452 square-foot patio and a two-car parking space.
- 2. Garage Conversion:** Existing garage to be converted into: 442 square-foot gym. 75 square-foot pool dressing room. 48 square-foot pool toilet. 80 square-foot laundry area. Additions to the converted garage include: 310 square-foot pool house. 338 square-foot balcony with exterior stairs. 64 square-foot mechanical/storage area below the balcony.
- 3. New Structures:** Construction of a detached 432 square-foot garage.
- 4. Main Residence Modifications:** Interior remodel of the existing main house. Exterior additions to the main house, including: 845 square-foot exterior patio/BBQ area. Exterior mountain view fireplace. 300 square-foot dining trellis. Installation of a new 15'x 60' pool and jacuzzi. Construction of a walled pool equipment area (non-covered).
- 5. Miscellaneous Improvements:** Landscaping, paths, stairs, walls, and courtyards. Parking and Fire Department-required driveway upgrades. New septic system installation. New Utilities as required



VICINITY MAP NOT TO SCALE

**SHEET INDEX**

- GENERAL INDEX**
- G0.01 TITLE SHEET / GENERAL INFO
- T50.1 SITE SURVEY (TOPO & BOUNDARY)
- ARCHITECTURAL DRAWINGS**
- A0.01 AS BUILT SITE PLAN
- A0.02 AS BUILT PLAN (E) Main Residence
- A0.02 PROPOSED SITE PLAN
- A1.05 MAIN RESIDENCE FIRST LEVEL PLAN
- A1.10 GUEST FLOOR PLANS
- A1.11 ADU FLOOR PLAN
- A1.09 ROOF PLAN
- A3.01 MH BUILDING ELEVATIONS
- A3.02 MH BUILDING ELEVATIONS
- A3.03 ADU BUILDING ELEVATIONS
- A3.04 GUEST BUILDING ELEVATIONS
- A3.05 GUEST BUILDING ELEVATIONS
- A5.01 MAIN HOUSE WINDOW & DOOR SCHEDULES
- A5.02 POOL/GYM WINDOW & DOOR SCHEDULES
- A5.03 ADU AND GARAGE DOOR AND WINDOW SCHEDULE
- ELECTRICAL DRAWINGS**
- E1.1 ELECTRICAL PLAN
- E1.2 ELECTRICAL PLAN
- E1.1 ELECTRICAL PLAN
- CIVIL DRAWINGS**
- C-2.1 GRADING AND DRAINAGE PLAN
- C-2.2 GRADING AND DRAINAGE PLAN
- LANDSCAPE DRAWINGS**
- L1.2 HARDSCAPE PLAN
- L2.0 IRRIGATION PLAN
- L2.1 IRRIGATION PLAN
- L2.2 IRRIGATION LEGEND & NOTES
- L2.3 IRRIGATION DETAILS
- L3.0 PLANTING PLAN
- L3.1 PLANTING PLAN
- L3.2 PLANTING LEGEND
- L3.3 PLANT PHOTOS
- L3.4 PLANT PHOTOS
- L4.0 HYDROZONE PLAN
- L4.1 SOILS MANAGEMENT REPORT
- L5.0 LANDSCAPE LIGHTING PLAN
- L5.1 LANDSCAPE LIGHTING PLAN
- L5.2 LANDSCAPE LIGHTING CUT SHEETS
- L5.3 STEP LIGHTING ELEVATIONS
- L6.0 SPECIFICATIONS
- L-1.0 HARDSCAPE PLAN
- L-1.1 HARDSCAPE PLAN

**SHEET INDEX CONT.**

County of Ventura  
March 10, 2025  
Cultural Heritage Board Meeting  
Item 6a, Exhibit 2 – Select Plans and  
Elevations in 11x17 size

SHEET:

DATE:

**LEGAL DESCRIPTION:**

Lots 9 and 10, as the same are designated and delineated upon that certain map entitled "Map of the Southwest Quarter of the Southwest Quarter of the Southwest Quarter, Section 33, Township 5 North, Range 22 West, San Bernardino Meridian", in the County of Ventura, State of California, as per map recorded in Book 5, Page 13 of Maps, in the Office of the County Recorder of said County.

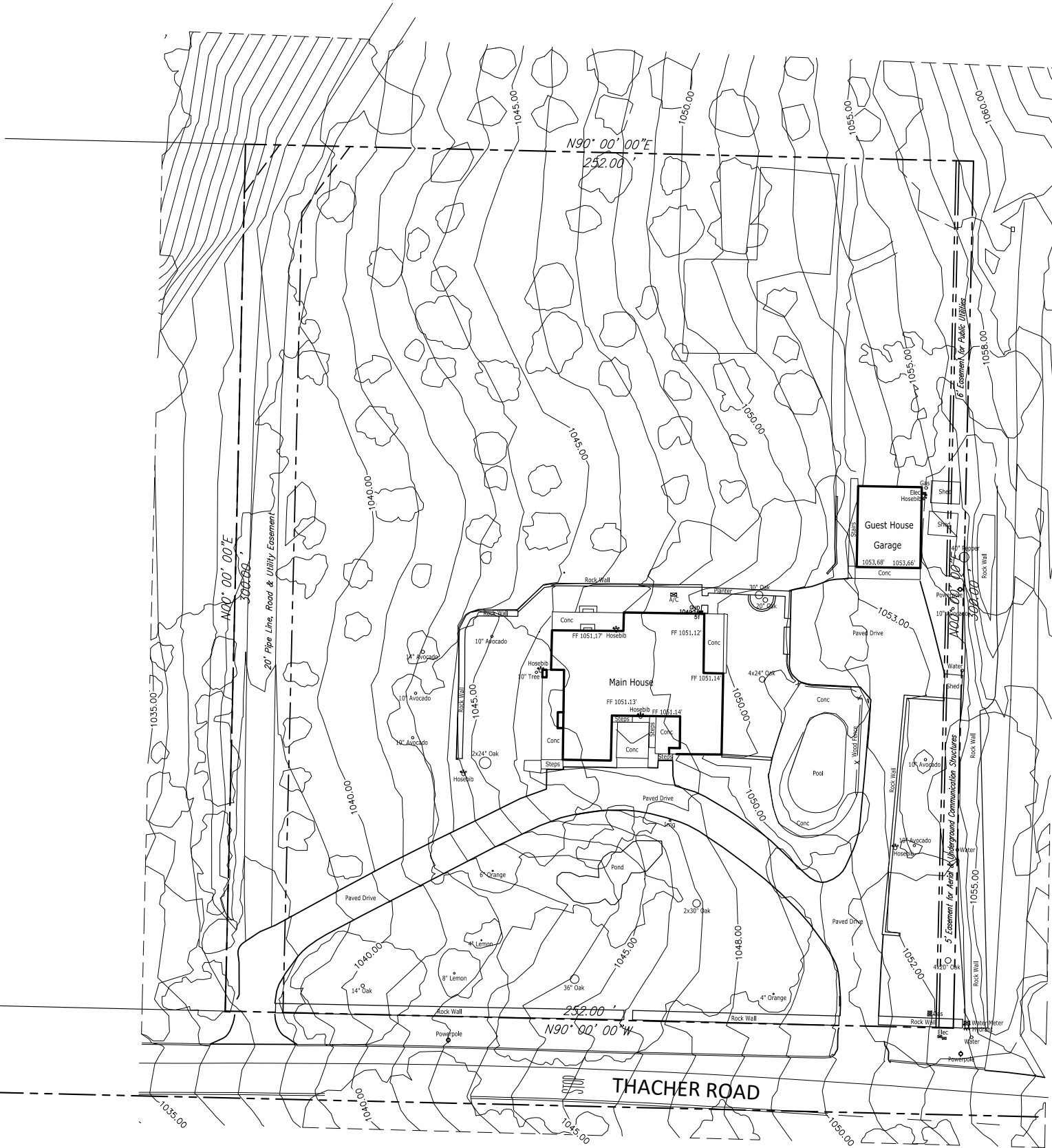
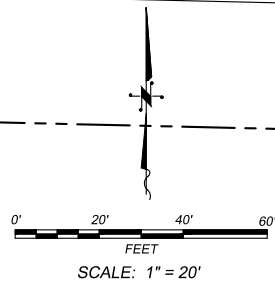
Assessor's Parcel No.: 014-0-100-260

**NOTES:**

1. Except as specifically stated or shown on this plat, this topographic survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements, building setback lines, restrictive covenants, zoning or other land use regulations, and any other facts that an accurate and current title search may disclose. The Professional Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
2. The boundary shown hereon is based upon a field survey and the recorded deed and recorded maps. This survey does not constitute a boundary establishment survey and is for general reference of site conditions and limits. Lot lines shown hereon were derived from available record information and minimally constrained to found survey monuments. The boundary survey shown hereon is a preliminary survey for examination purposes only, as noted in the California Land Surveyor's Act, Section 8761(c). Upon the request of the client or any governmental agency, additional boundary and monument recovery may be necessary in order to file a Corner Record or Record of Survey with the local agency.
3. No attempt has been made as a part of this topographic survey to obtain or show data concerning existence, size, depth, condition, capacity or location of any utility or municipal/public service facility, except as may be shown hereon. For information regarding these utilities or facilities, contact the appropriate agency. Also, landscaping and landscape irrigation devices were not surveyed and are not shown. Tree line canopies are pictorial and may not reflect true driplines.
4. The aerial image is shown for reference purposes only.
5. Copies of this plan without an original signature and without a wet seal are not valid and are preliminary. If this map is provided in an electronic format (cad/pdf), only the Surveyor's signed and sealed plan constitutes a professional work product. In the event that the electronic file is altered, the Surveyor's signed and sealed print or pdf file must be referred to for the original and correct survey information. Henry Land Surveying shall not be responsible for any modification made to the provided cad file, or for any products that have been derived from the cad file which are not reviewed, signed and sealed by Jeremy Henry PLS 8135.

**LEGEND:**

- Electrical Box
- Fire Hydrant
- Gas Valve
- Guy Wire
- Hosebib
- Light Standard
- Power Pole
- Sewer Manhole
- Storm Drain Manhole
- Water Meter
- Water Valve
- Chainlink Fence
- Electrical Line
- Gas Line
- Overhead Line
- Sewer Line
- Storm Drain Line
- Telephone Line
- Water Line
- Wood Fence



*[Handwritten signature]*

**HENRY LAND SURVEYING INC.**  
**JEREMY HENRY - LAND SURVEYOR**  
 619 Crestview Drive, OJAI, CA, 93023  
 jeremyhenry1118@gmail.com  
 (805) 216-6124



HORIZONTAL DATUM: NAD 83, ZONE 5, US SURVEY FEET  
 VERTICAL DATUM: NAVD 88  
 BENCHMARK: COUNTY OF VENTURA 83-22  
 ELEVATION = 1018.548 FEET

DATE OF SURVEY: MAY 25, 2022  
 CONTOUR INTERVAL = 1 FOOT  
 DRAWN BY: JEREMY HENRY, PLS 8135

**APN 014-0-100-260**  
**3935 THACHER ROAD**  
**OJAI, CALIFORNIA**  
 TOPOGRAPHIC MAP

SHEET 1  
 OF 1  
 JOB NO.  
 22-110

**Yih Residence**

3935 Thacher Rd Ojai, CA, 93023  
 APN: \*\*\* 014-0-100-260 \*\*\*

**TWO TREES**  
 ARCHITECT



SHEET:

DATE:

# PROPOSED SITE PLAN



## Yih Residence

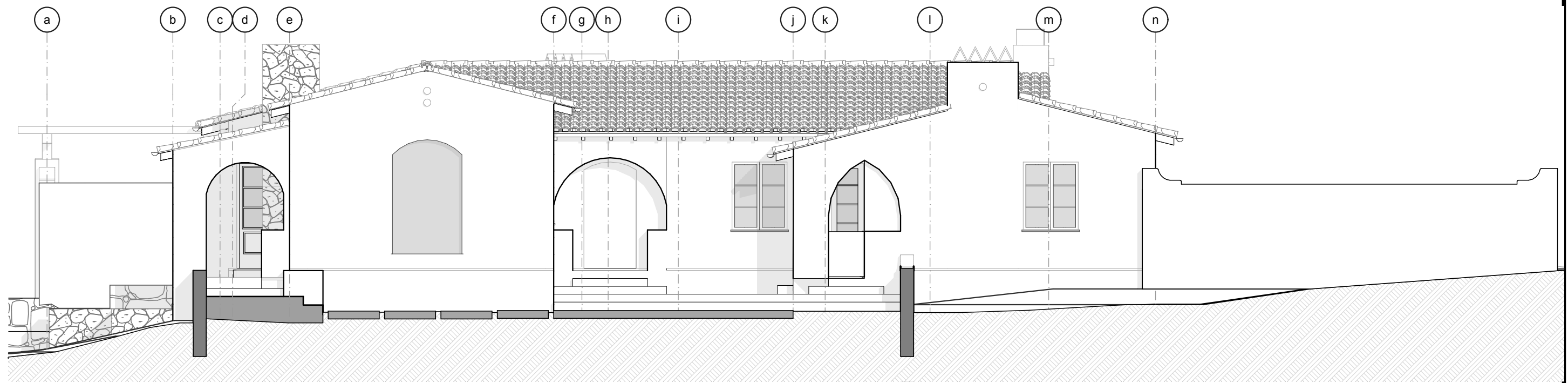
3935 Thacher Rd Ojai, CA 93023  
APN: \*\*\* 014-0-100-260 \*\*\*

TWO TREES  
ARCHITECT



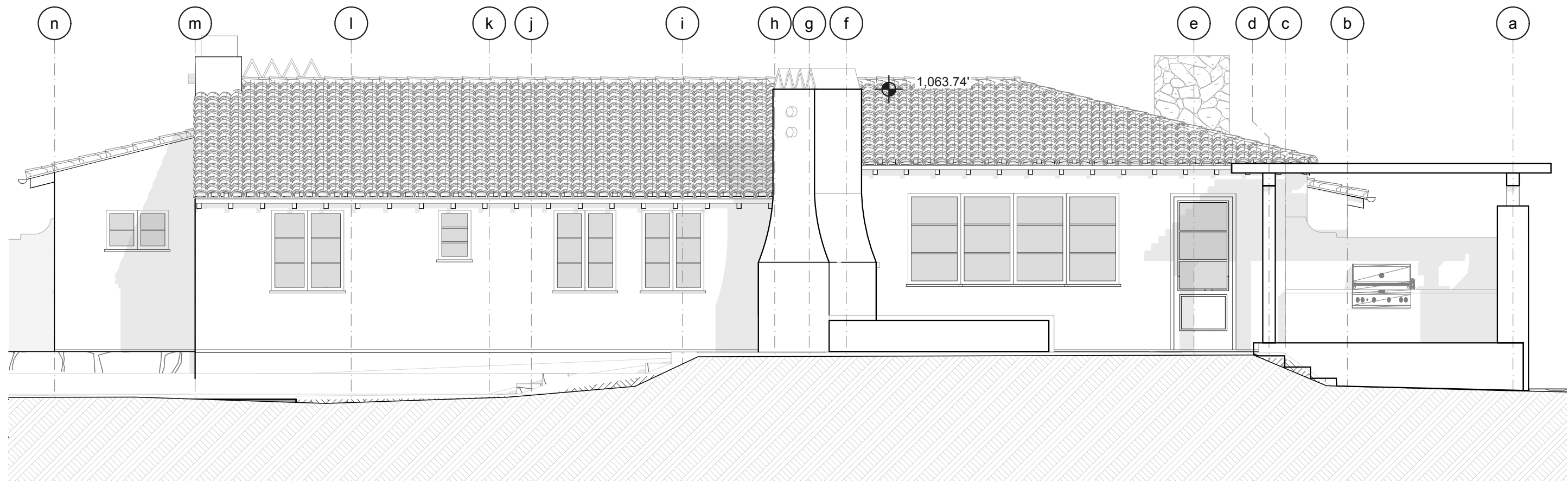
SHEET:

DATE:



**PROPOSED MAIN HOUSE SOUTH**





**PROPOSED MAIN HOUSE NORTH**

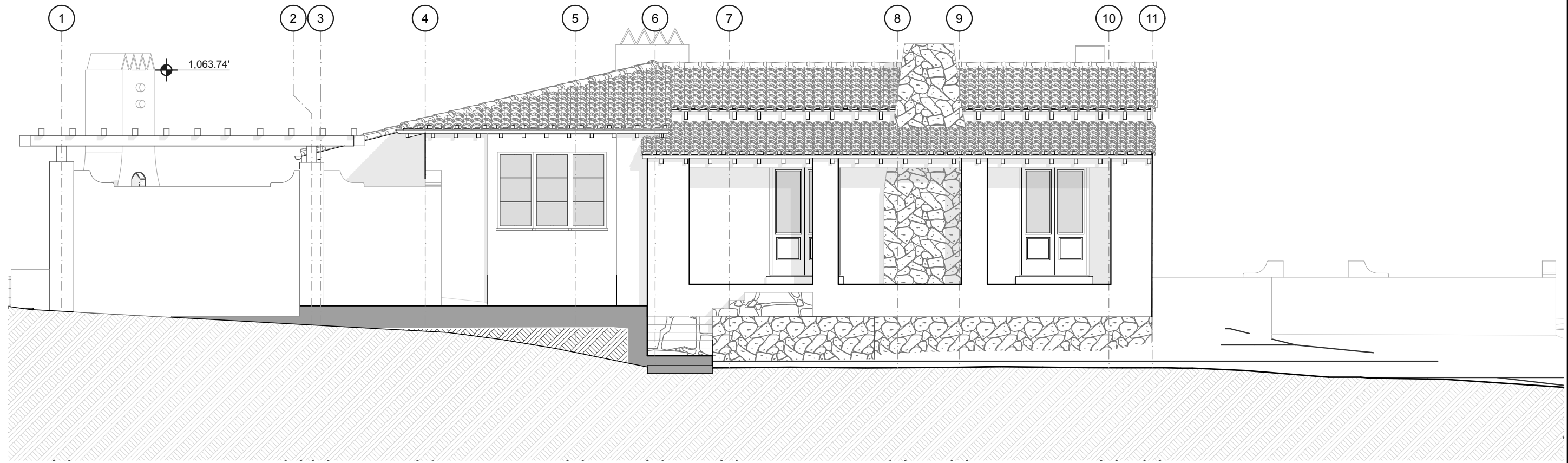


**Yih Residence**

3935 Thacher Rd Ojai, CA 93023  
APN: \*\*\* 014-0-100-260 \*\*\*

SHEET:

DATE:



**PROPOSED MAIN HOUSE WEST**

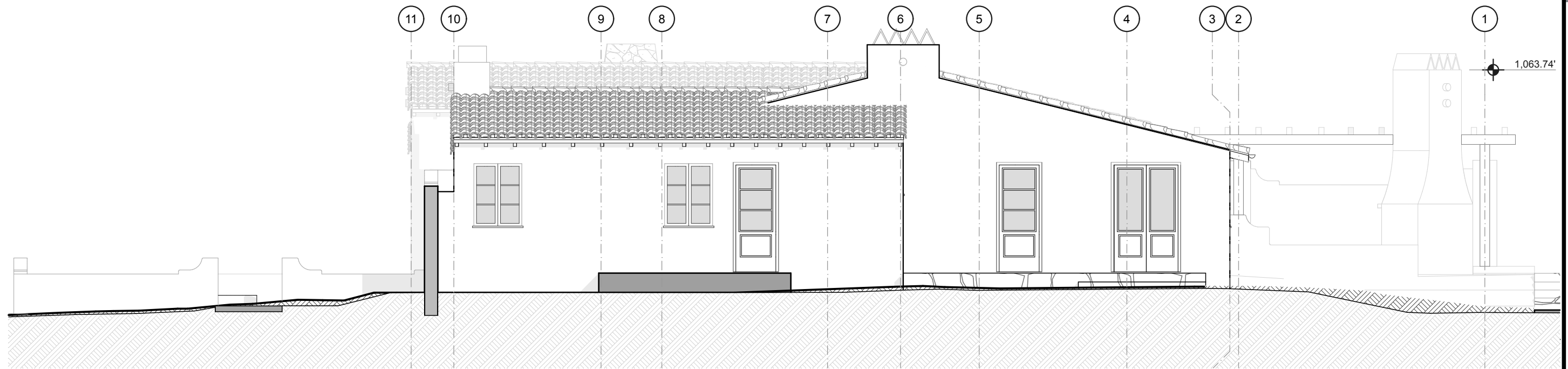


**Yih Residence**

3935 Thacher Rd Ojai, CA 93023  
APN: \*\*\* 014-0-100-260 \*\*\*

SHEET:

DATE:



**PROPOSED MAIN HOUSE EAST**

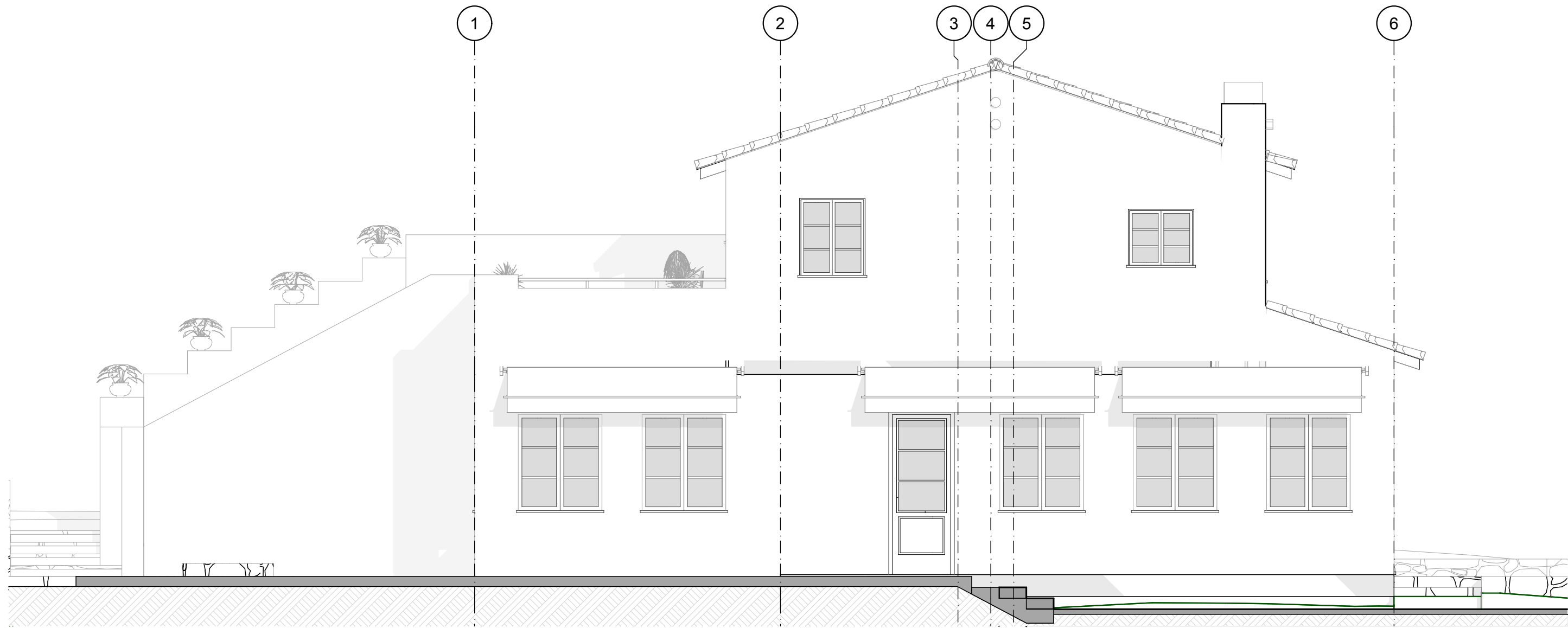


**Yih Residence**

3935 Thacher Rd Ojai, CA 93023  
APN: \*\*\* 014-0-100-260 \*\*\*

SHEET:

DATE:



**PROPOSED GUEST HOUSE NORTH**



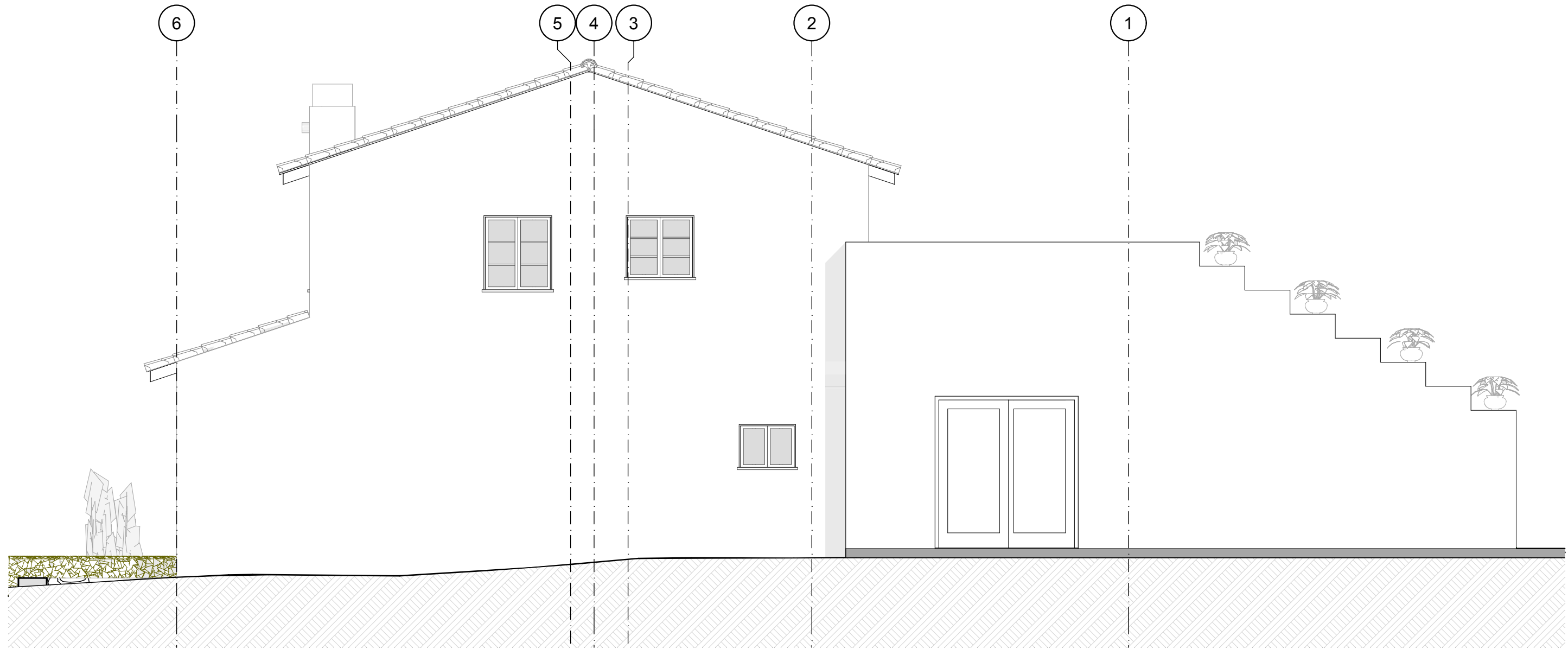
**Yih Residence**

3935 Thacher Rd Ojai, CA 93023  
APN: \*\*\* 014-0-100-260 \*\*\*

SHEET:

DATE:





**EXISTING GUEST HOUSE NORTH**



**Yih Residence**

3935 Thacher Rd Ojai, CA 93023  
APN: \*\*\* 014-0-100-260 \*\*\*

SHEET:

DATE: